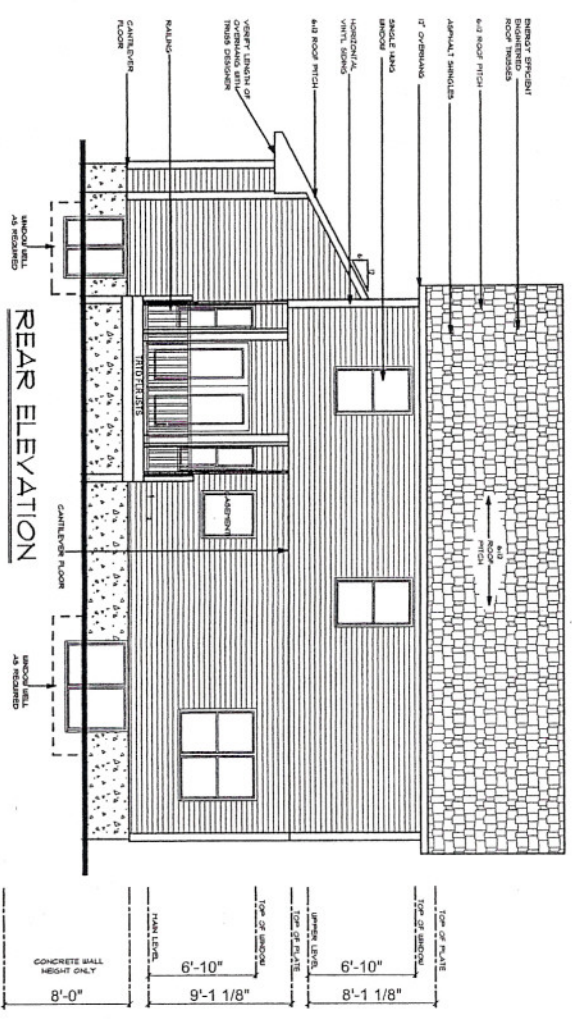


FRONT ELEVATION



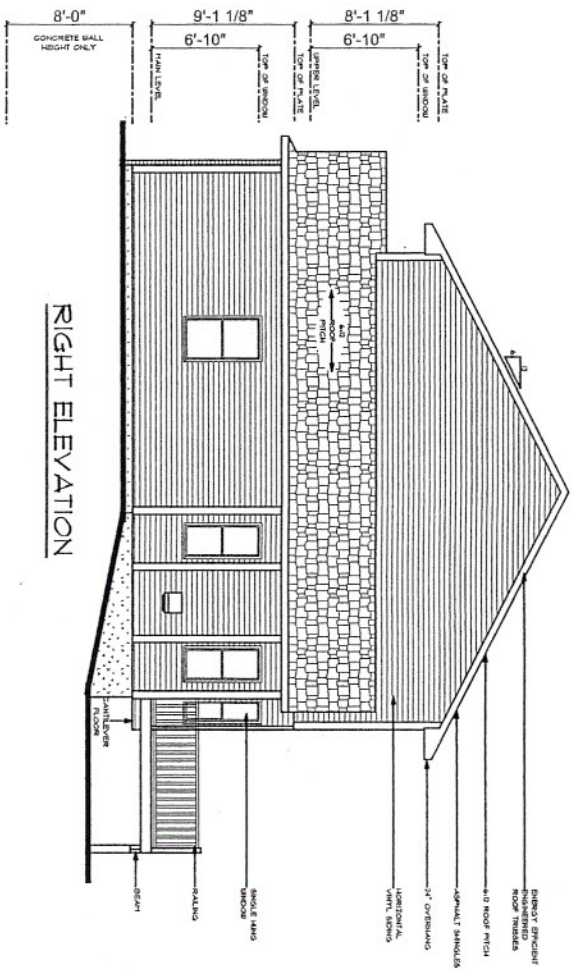
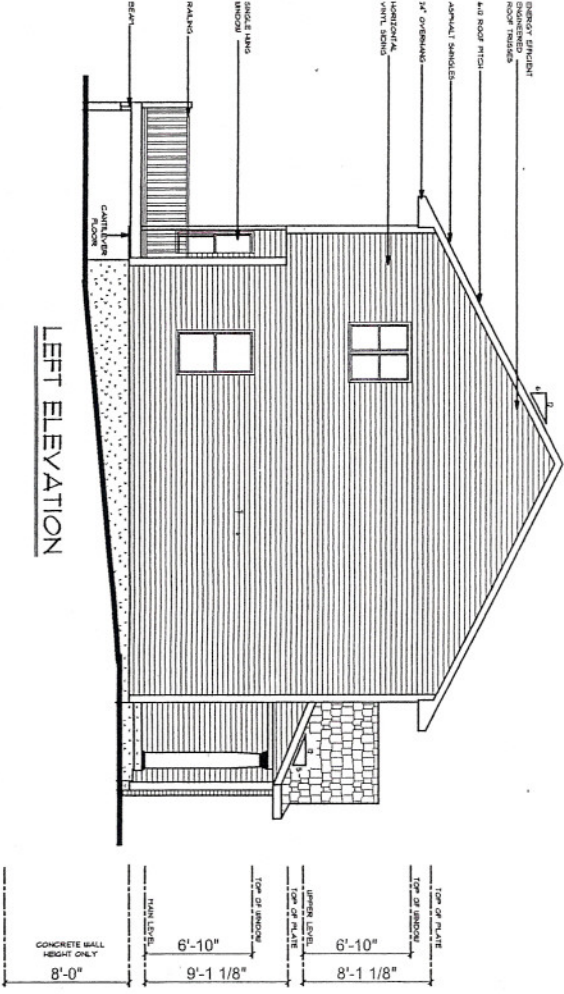
REAR ELEVATION

SCALE: 1/8" = 1'-0"
 DATE: 09/17/2004
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 04R47

THE 'MELBOURNE'
 BY
SOUTHGATE DEVELOPMENT

DESIGN ELEMENTS
 RESIDENTIAL - LIGHT COMMERCIAL DRAFTING
 ONE TRAC - NVA - 52755
 89-69 4570
 CLIENT@DESIGNELEMENTS.COM

REVIEWS



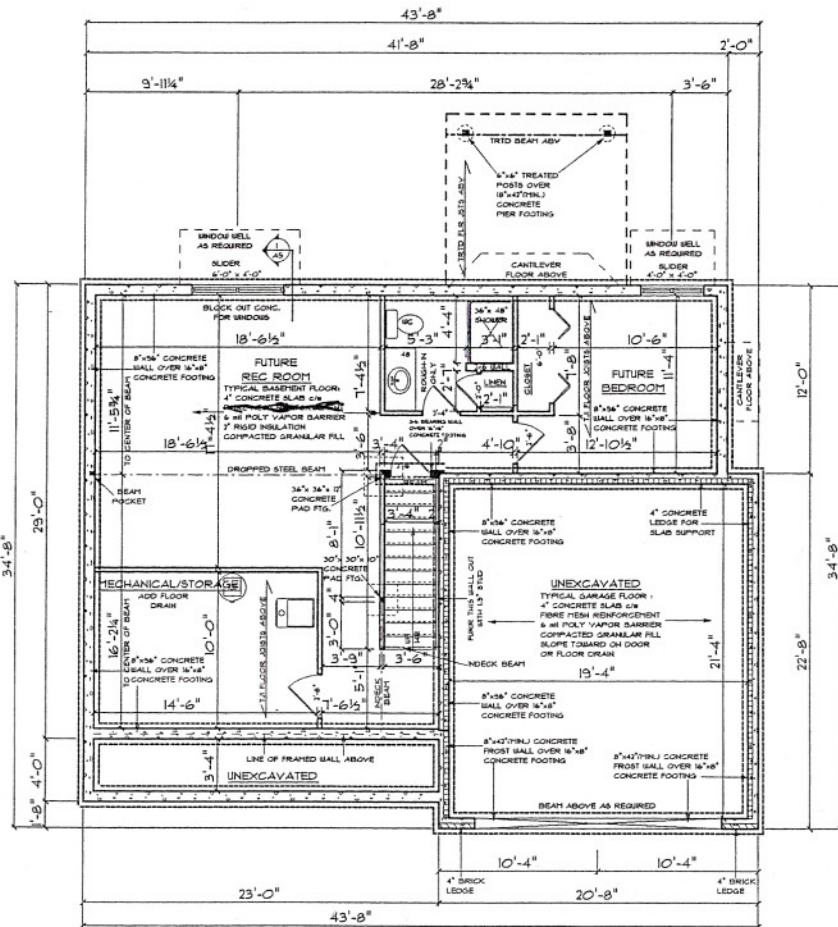
• A2 •

SCALE: 1/8" = 1'-0"
 DATE: 09/17/2004
 DRAWN BY: JAC
 CHECKED BY: COM
 PROJECT NUMBER: 04R47

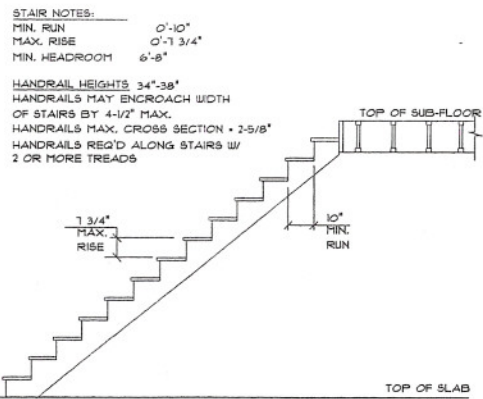
THE "MELBOURNE"
 BY
 SOUTHGATE DEVELOPMENT

• DESIGN • ELEMENTS •
 RESIDENTIAL - LIGHT COMMERCIAL DRAWING
 LAKE TRAIL, CIVIL, 52755
 89-69 4570
 CURTIN@HARPERCORP.COM

REVISIONS



LOWER LEVEL / FOUNDATION PLAN
 MAIN LEVEL: 933 SQ. FT.
 UPPER LEVEL: 1010 SQ. FT.
 TOTAL SQ. FT.: 1943 SQ. FT.



TYPICAL STAIR SECTION
 DETAIL ONLY REFLECTS STAIR REQUIREMENTS NOT STAIRS PER DRAWING

- NOTES**
- 8'-0" BASEMENT WALL HEIGHT
 - GERKIN SLIDER WINDOWS TO BE USED UNLESS NOTED
 - USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
 - ALL DIMENSIONS ARE FRAME TO FRAME
 - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
 - ALL EXTERIOR WALLS ARE 2x4'S AT 16" OC
 - ALL INTERIOR WALLS ARE 2x4'S AT 16" OC
 - GARAGE WALLS ARE 2x4'S AT 16" OC
 - 2x6 PLUMBING WALLS AS REQUIRED
 - BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
 - ACTUAL 11 7/8" TJI FLOOR LAYOUT AND SPACING BY HFS.
 - 24" CLEARANCE IN FRONT OF OPENING TO SHOULDER
 - 21" CLEARANCE IN FRONT OF WATER CLOSET
 - STAIRS - MAX. RISE: 1 3/4" - MIN. RUN: 10"
 - LOCATION OF ATTIC ACCESS IS TO BE DETERMINED BY GENERAL CONTRACTOR

- FOUNDATION NOTES**
- 3000 PSF SOIL BEARING PRESSURE ASSUMED FOR FOOTING DESIGN. MODIFY AS NEEDED IF DIFFERENT CONDITIONS ARE ENCOUNTERED
 - DO NOT BACKFILL BASEMENT WALLS UNTIL FIRST FLOOR IS IN PLACE
 - 3000 PSI CONCRETE (TYPICAL)
 - DO NOT PLACE ANY FOOTINGS ON DISTURBED SOIL - IF ENCOUNTERED, OVER EXCAVATE AND EXTEND FOOTING DEPTH
 - FOOTINGS ARE TO MEET LOCAL FROST FOOTING REQUIREMENTS

REVISIONS

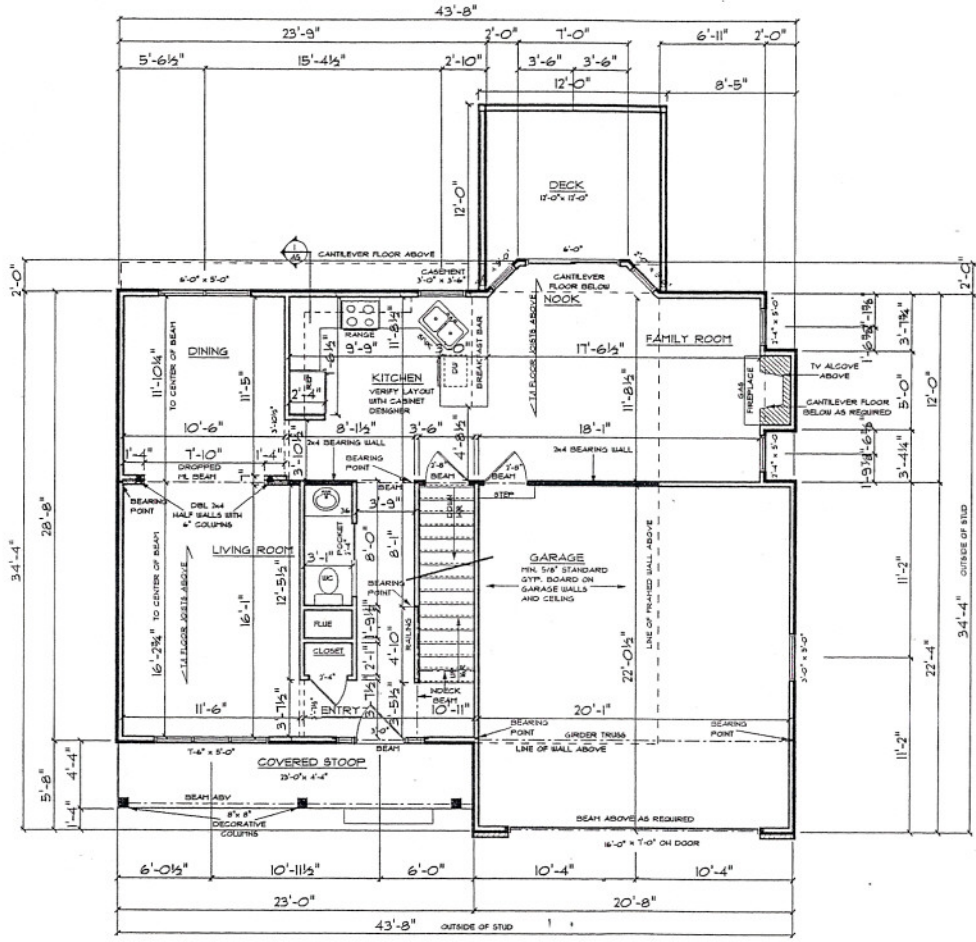
DESIGN ELEMENTS:
 RELATIONAL LAYOUT CONSTRUCTION METHOD
 LINE TELL & PVA & SE795
 99 458 4570
 CDS/3/NA/06/08/04/01/01

THE MELBOURNE
 BY
SOUTLIGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 09/07/2004
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 0405-017

• A3 •

BEFORE CLEARING IS NOT AN ARGUMENT FOR DEFERRED AND CONSTRUCTION FROM PUBLIC PLANS SHALL BE THE RESPONSIBILITY OF THE CLIENT AND CONTRACTOR. THE CLIENT AND CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEARING AND BRUSHING THAT COULD AFFECT THE PROJECT AFTER THE CONSTRUCTION OF THIS PLAN OR BEFORE IT IS COMPLETED.



MAIN LEVEL FLOOR PLAN

MAIN LEVEL: 933 SQ. FT.
 UPPER LEVEL: 1010 SQ. FT.
 TOTAL SQ. FT.: 1943 SQ. FT.

NOTES

- 9'-1 1/8" WALL HEIGHT UNLESS NOTED
- GERKIN SINGLE HUNG WINDOWS TO BE USED UNLESS NOTED
- USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
- ALL EXTERIOR WALLS ARE 2x4'S AT 16" OC
- ALL INTERIOR WALLS ARE 2x4'S AT 16" OC
- GARAGE WALLS ARE 2x4'S AT 16" OC
- 2x6 PLUMBING WALLS AS REQUIRED
- BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
- ACTUAL 11 1/8" TJI FLOOR LAYOUT AND SPACING BY MFG.
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 2" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MAX. RISE: 1 3/4" - MIN. RUN: 10"
- LOCATION OF ATTIC ACCESS IS TO BE DETERMINED BY GENERAL CONTRACTOR

REVISIONS

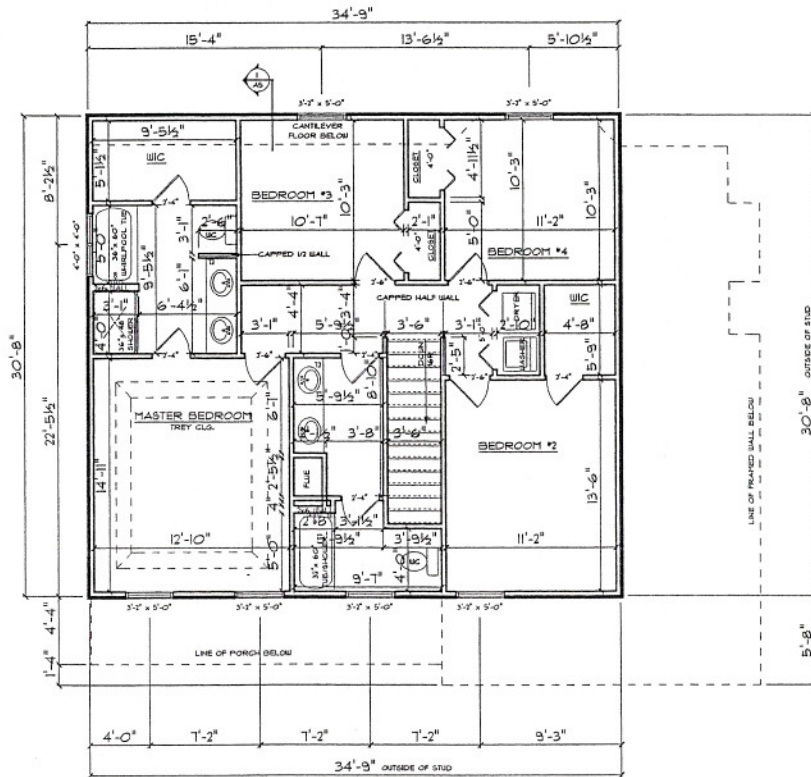
DESIGN ELEMENTS
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 1714 & 50795
 5945N 4579
 CADD/INSTRUMENTATION

THE MELBOURNE
 BY
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 09/07/2004
 DRAWN BY: JAC
 CHECKED BY: CDH
 PROJECT NUMBER: 0406107

• A4 •

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HERSELF. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.

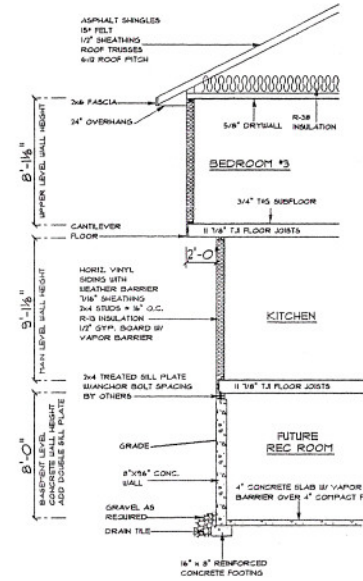


UPPER LEVEL FLOOR PLAN

MAIN LEVEL: 933 SQ. FT.
 UPPER LEVEL: 1010 SQ. FT.
 TOTAL SQ. FT.: 1943 SQ. FT.

NOTES

- 8'-1 1/8" WALL HEIGHT UNLESS NOTED
- GERKIN SINGLE HUNG WINDOWS TO BE USED UNLESS NOTED
- USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
- ALL EXTERIOR WALLS ARE 2x4'S AT 16" OC
- ALL INTERIOR WALLS ARE 2x4'S AT 16" OC
- GARAGE WALLS ARE 2x4'S AT 16" OC
- 2x6 PLUMBING WALLS AS REQUIRED
- BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
- ACTUAL 11 7/8" T.J. FLOOR LAYOUT AND SPACING BY MFG.
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MAX. RISE: 7 3/4" - MIN. RUN: 10"
- LOCATION OF ATTIC ACCESS IS TO BE DETERMINED BY GENERAL CONTRACTOR



CROSS SECTION THRU KITCHEN

REVISIONS

DESIGN ELEMENTS
 RESIDENTIAL LIGHT COMMERCIAL RESIDENTIAL
 LANE TECH. & ENGR. # 52795
 99-459-4070
 CREATING/REVISIONS/DATE

THE MELBOURNESM
 BY
SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 09/17/2004
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 048-07

• A5 •

FOR CLIENTS TO USE: AN ARCHITECT OR ENGINEER MUST REVIEW THIS PLAN AND SIGNATURE FROM THE ARCHITECT OR ENGINEER MUST BE OBTAINED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND ARCHITECT OR ENGINEER RELEASES DESIGNER FROM ANY CLAIMS OR DAMAGES THAT MAY BE INCURRED AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IF CONSTRUCTION...